

# Approval for Apartment Modification

Ref. No.	YOUR REF NUMBER		BUILT FORM
Development	The Palm - Jumeirah Co. (L.L.C)	BUILT FORM	
Purchaser	YOUR NAME		Issue Date: 05 Dec 2025 Expiry Date: 05/06/2026
Consultant Contractor	MASTERWORK SPACE TECHNICAL SERVICES LLC		Property ID: PROPERTY ID
Contact Details	T +971529385533	E marel.s@garantbc.com	

We refer to your application registered on 28 Nov 2025 regarding the above-mentioned property. Please note that Developer/Seller Community Planning & Management (NCPM) has No Objection to the proposed Modification works subject to the conditions below that must be fulfilled.

This approval permits only the following internal fit-out works as follows:

1. Internal Non-structural Wall(s) Demolition and Adding New Wall(s) as per Stamped Drawings
2. Replacing Floor & Wall Tiles in wet areas, Sanitary Wares, Cabinets. 3. Internal: Painting, Electrical(s), Ceiling, Glass Panels, Gypsum & Joinery Works.

**Note: Modifications works to the external or balcony of the unit is NOT permitted. Any plumbing works above the slab, coring works, use of heavy machinery/ies including but not limited to jackhammer for demolition is strictly prohibited.**

A copy of CED approval, this NOC, and all other related permits, is to be maintained in a prominent and visible location at the property and is to be clearly accessible for staff of Developer/Seller and other Authorities.

All works associated with proposed construction/modification are to follow Master Community Rules and Developer/Seller Community Management guidelines.

In carrying out the modification works, all reasonable and practical measures to minimize releases of contaminants (dust, odors) to the neighbor or built environment must be taken. Wastewater, chemicals, paints, powders, adhesives or other substances used in the modification works shall be disposed of offsite and must not be released to water ways, watercourses, drains or soils.

Contractors, consultants and their staff are not permitted to reside within the property during the period of the modification works.

Contractors, consultants and suppliers' vehicles and/or equipment are not to be parked upon the footpath or any other area except within designated parking spaces within the street unless otherwise approved by Developer/Seller. As well, it should not in any way interrupt or hinder the free flow of traffic on road or be stored/ parked on the beach.

The Applicant and contractor/ agent shall be fully responsible, at his/her expense, for the rectification to any Common Use Facilities damaged, soiled or defaced (including paint spills) by the proposed Modification works. These rectification works are to be agreed and approved by Developer/Seller. This includes removal of any waste materials, associated with the Modification works, from the external areas of the Property and the Common Use Facilities.

NOC issuance from Developer/Seller does not relieve the Purchasers or their representatives from their obligation to comply with the requirements of all applicable Authorities and Utilities and of their responsibilities for any errors or discrepancies in their design, for which the purchasers shall be responsible for the rectification of such errors at any time they become apparent.

**All amounts stated in this Agreement are exclusive of any value added tax (VAT), sales tax or equivalent tax. To the extent that the VAT at standard rate as prescribed in the VAT laws and regulations (VAT Amount) is applicable at the time that the amount payable is chargeable, it shall be added to the amounts payable. If other taxes become applicable to any amounts payable, as a result of a change in legislation applicable in Dubai, this shall be added to the amounts payable at the applicable rates.**

**Disclaimer:** This approval is strictly design-focused and is limited to the elements of the proposal. Accuracy of measurements and calculations and all Engineering and technical solutions are not part of this Approval. Developer remains subject in full to all contractually binding conditions stipulated in the Sales and Purchase Agreement of the subject unit. Developer also indemnifies Master Developer and his employees from any damage, risk or loss, or legal and financial responsibility that may be borne at any stage in relation to these modifications.

**General Conditions:**

1. The proposed modifications shall be undertaken for the work described above. In case of any new modification, a new application will need to be submitted. Security pass is required to enter premises.
2. All wall demolition must be approved by relevant authorities. All works associated with proposed construction/modification are to follow Master Community Rules and Developer/Seller Community Management guidelines. Noise should be under control and the area outside the apartment should be maintained dust free.
3. This NOC does NOT approve any modification on any of the Firefighting fixtures/system such as (sprinklers, fire pipes & Firearm), a NOC from Dubai Civil Defense shall be obtained prior to any modification on any of the firefighting fixture/system.
4. All onsite modification works shall be completed on the stipulated date as mentioned above. No works are allowed on site and no gate passes will be issued for the contractor and/or his workers after this date.
5. This NOC is personal to the above referenced Purchaser(s) of this property. It is not automatically transferable to new property Purchasers on sale of the property or any third party, if it has not been implemented prior to sale. In such event this NOC will be deemed invalid and of no further force and effect. Should any new property Purchaser wish to proceed on the basis of the previously approved NOC, the new Purchaser will be required to make a fresh submission if the NOC has expired, or the Property owner has changed.
6. No extra utility load will be supplied / approved by Developer/Seller as a result of these modifications, Purchaser shall undertake that the modifications will not generate extra load on the sewage system and network of the Development.
7. The used materials for modification are to replicate those used in existing property, including, and not limited to, color, texture, pattern, finish, thermal and acoustic specifications.
8. Developer/Seller has not made any assessment of any proposed Mechanical, Electrical, plumbing (MEP) or structure associated with the proposed modifications or the potential impact the proposed modifications might have upon existing MEP or structure.
9. The applicant and contractor/ agent shall bear full responsibility for assessing the impact the modifications may have (if any) upon existing and proposed MEP, firefighting system, and/or structure. The developer/Seller accepts no liability for any impact upon MEP, firefighting system, and/or structure caused by the proposed modifications.
10. Developer/Seller will accept no claims under the Sale and Purchase Agreement in respect of any defect in the property, whether structural or otherwise arising as a consequence of modification works and, in carrying out modifications, the Purchaser will be deemed to have indemnified Developer/Seller, its associated entities, its agents, employees and successors against any claims, damages, injuries, losses (including loss of life) or liabilities as a direct or indirect consequence of unit/apartment modification works.
11. No modifications are allowed for the property pertaining to the existing waterproofing system, flooring screed, external elevation walls, openings, and/or external finishes.
12. Modifications cannot be proceeded prior to handing over of your property. Modifications may void the warranty on the modified area.
13. Display copy of this NOC and that of other authorities must be posted on the main door of the unit for verification of the Developer/Seller/authorized site personnel's review through the period of work being done.
14. The contractor must have a Third-Party Liability coverage for the job being carried out, and the same to be valid during the period of this NOC for carrying out the stipulated job.
15. Fire Alarm / Fire Fighting Devices Damage, relocation & disablement are strictly prohibited. If needed, then the occupant must take prior approval from OA & FM inclusive of any proposed additional or relocation of FF devices inside their apartment. All fire detection devices should be protected during the period of the works.
16. Concerned contractor should not cause any damages to the common area until they handed over the project to the respective owner.
17. Not to damage the structure of the building while cutting & chipping the existing floor & wall tiles/marbles/granites or ceiling modifications.
18. Existing waterproofing on the floor is not to be damaged.
19. Coring in the floor is not allowed especially in areas with existing waterproofing.
20. Existing common area electrical cables & their respective conduits are not to be damaged during the time of modification. All relevant Dubai electrical safety procedures and regulations should be followed.
21. If there is any complaint in future due to this modification, it is solely under Owner's responsibility.
22. Leaks due to grouting damage & any leak in the newly fixed waterproofing in future (Might happen in future) are solely under the owner's responsibility.
23. Civil debris related to fit-out work has to be disposed of to the municipality by the fit-out contractor/ owner of the unit daily and the surrounding area should be cleaned. It should not be disposed of in the building's ENVAC system under any circumstances.
24. Building common areas not to be damaged while moving in & move out throughout the fit-out work.
25. All the fit-out drawings if any and as applicable (Existing & proposed) should be approved by the relevant local authorities (such as DCD, Dubai Municipality, Trakhees, etc.) and all permits should be obtained prior to the commencement of works.
26. If any damages are caused to the building facilities, then OA has the right to penalize the fit-out contractor/ Owner of the apartment.
27. Use of heavy machinery is prohibited. Spray Guns are prohibited for painting. Structural damage should not happen in any way.
28. Mobilization and demobilization it should not cause any inconvenience to other occupants of the building in any way.
29. Owner/contractor should not keep any construction materials outside the apartment, basement parking area or any building common areas.
30. Any change to the balcony doors should not affect the aesthetics of the exterior look & make of the door. The external view of the apartment should not differ in any way, it must be maintained in a uniform manner as per the design of the building. The same color code shall be used in external areas.
31. Works involving demolition & construction must be duly approved by relevant authorities.
32. If floor tiles are removed or replaced, waterproofing for the whole floor area should be carried out with 48 hours pond test.
33. Before starting the work fire alarm contractor of the building should be notified for disconnecting the fire alarm cables. Owners/contractors are not allowed to remove/slice or reroute the cables/sprinkler pipe without our consent.
34. Apt main door should remain closed at the time of renovation works in order to avoid common area humidity and smell issues.
35. Any replacement of tiles in the external wall or balcony walls should not differ from the existing one, and the aesthetic view of the premises should not be affected due to the tiles color.



This certificate is valid for 6 months. A valid signature or stamp is required to verify the certificate. Please click [here](#) to verify.

Stamp:

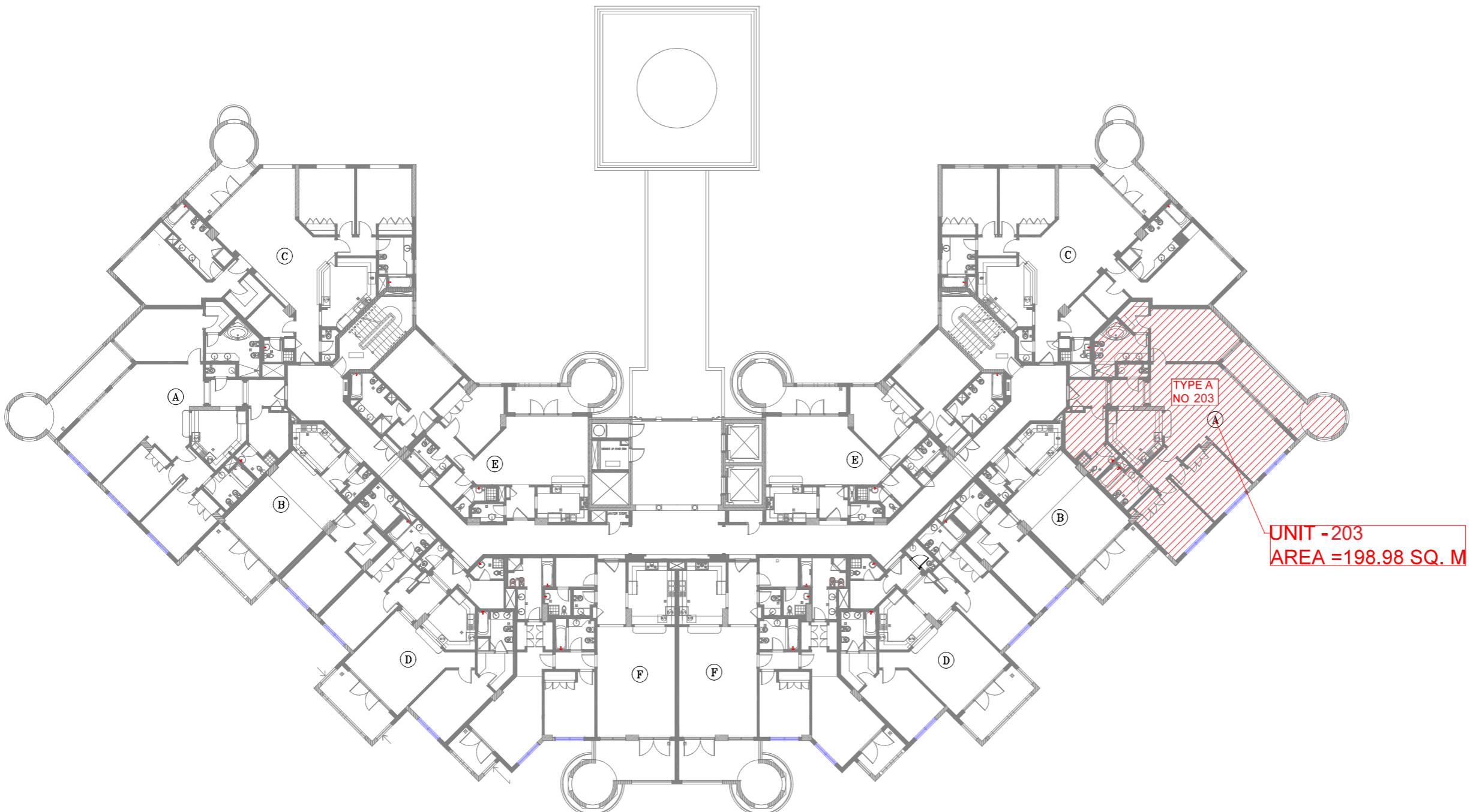


Date: 05 Dec 2025

For and on behalf of:

**The Palm - Jumeirah Co. (L.L.C)**





## LEGENDS

SYMBOLS	DESCRIPTIONS
	MODIFICATION AREA

Rev No	Description	Date	Checked	Approved

CLIENT:  
**YOUR NAME**

FIT OUT CONTRACTOR:  
 **MASTERWORK SPACE TECHNICAL SERVICES**  
 Office 301-98, Al Souq Al Kabeer, Mashreq Building, DIFC, Dubai  
 +971581791439  
 masterworkspace.ae  
 office@masterworkspace.ae

LOCATION:  
**LOCATION OF THE PROPERTY**

CONTRACTOR

DRAWING TITLE:  
**KEY PLAN**

Scale: 1:50	Sheet Size: A1	Project No.....
1:100	A3	
Designed By:		Date: 09/01/2026
Checked By:		
Submitted By:		
Dwg No.		Revision No. 00

# EXISTING LAYOUT

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1.0b

1.0b



## KEY PLAN

## LEGENDS

SYMBOLS	DESCRIPTIONS
	MODIFICATION AREA

Rev No	Description	Date	Checked	Approved

**CLIENT:**

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**FIT OUT CONTRACTOR:**



**MASTERWORK SPACE TECHNICAL SERVICES**  
Office 301-98, Al Souq Al Kabeer, Mashreq Building, DIFC, Dubai  
+971581791439  
masterworkspace.ae  
[office@masterworkspace.ae](mailto:office@masterworkspace.ae)

**LOCATION:**

## LOCATION OF THE PROPERTY

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**CONTRACTOR**

**DRAWING TITLE:**

## EXISTING LAYOUT

Scale: 1:50 1:100	Sheet Size: A1 A3	Project No.....
Designed By:	Date: 09/01/2026	
Checked By:		
Submitted By:		
Dwg No.	Revision No. 00	

**DEMOLITION LEGEND**

SYMBOLS	DESCRIPTIONS
	BLOCK WALLS TO BE DEMOLISHED
	REMOVAL AND DISPOSAL OF WOODWORKS, TOILET FIXTURES
	REMOVAL OF CORNICE DETAIL IN CEILING

DEMOLITION OF NON STRUCTURAL WALLS AND DOOR

DEMOLITION OF NON STRUCTURAL WALL TO CREATE A DOOR OPENING

DEMOLITION OF ARCHWAYS

DEMOLITION OF ARCHWAYS

DEMOLITION OF SIDE WALLS AND THE LOW HEIGHT KITCHEN WALL TILL FLOOR

DEMOLITION OF NON STRUCTURAL WALLS AND DOOR

NOTES:  
1. DO NOT SCALE DRAWINGS, FIGURED DIMENSION ONLY TO BE USED.  
2. ALL DIMENSIONS TO BE VERIFIED BY CONTRACTOR AND ANY DISCREPANCIES MUST BE REPORTED TO THE CONSULTANT BEFORE COMMENCEMENT OF WORKS.  
3. ALL WORKS, SETTING OUT, LEVELS, COMPONENTS, MATERIAL AND FINISHES ARE TO BE INSPECTED AND APPROVED BY THE CONSULTANT BEFORE COMMENCEMENT OF WORKS.  
4. THIS DRAWING IS TO BE READ WITH ALL RELATED ARCHITECTS & ENGINEER'S DRAWINGS, SPECIFICATIONS AND OTHER RELEVANT INFORMATION, ANY DISCREPANCIES MUST BE REPORTED TO THE CONSULTANT IMMEDIATELY BEFORE COMMENCEMENT OF WORKS.

PROJECT Client :

DEVELOPMENT



CONTRACTOR

MASTERWORK SPACE TECHNICAL SERVICES  
Office 301-98, Al Souq Al Kabeer, Mashreq Building, DIFC, Dubai  
+971581791439  
masterworkspace.ae  
office@masterworkspace.ae

SUB CONTRACTOR

DESIGNER

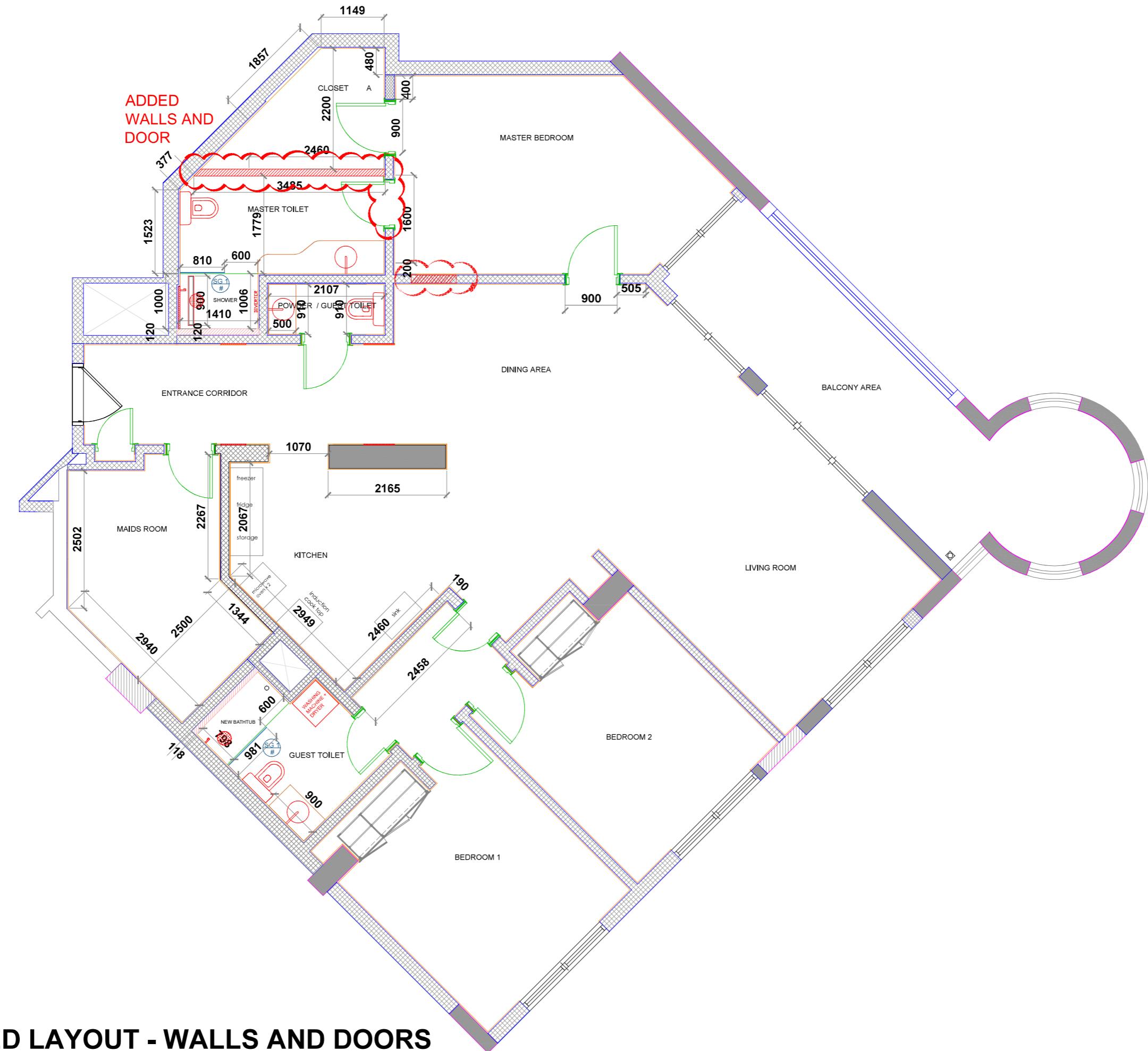
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CHECKED BY : MS  
DATE : 09/01/2026  
REVISION NO. : 00

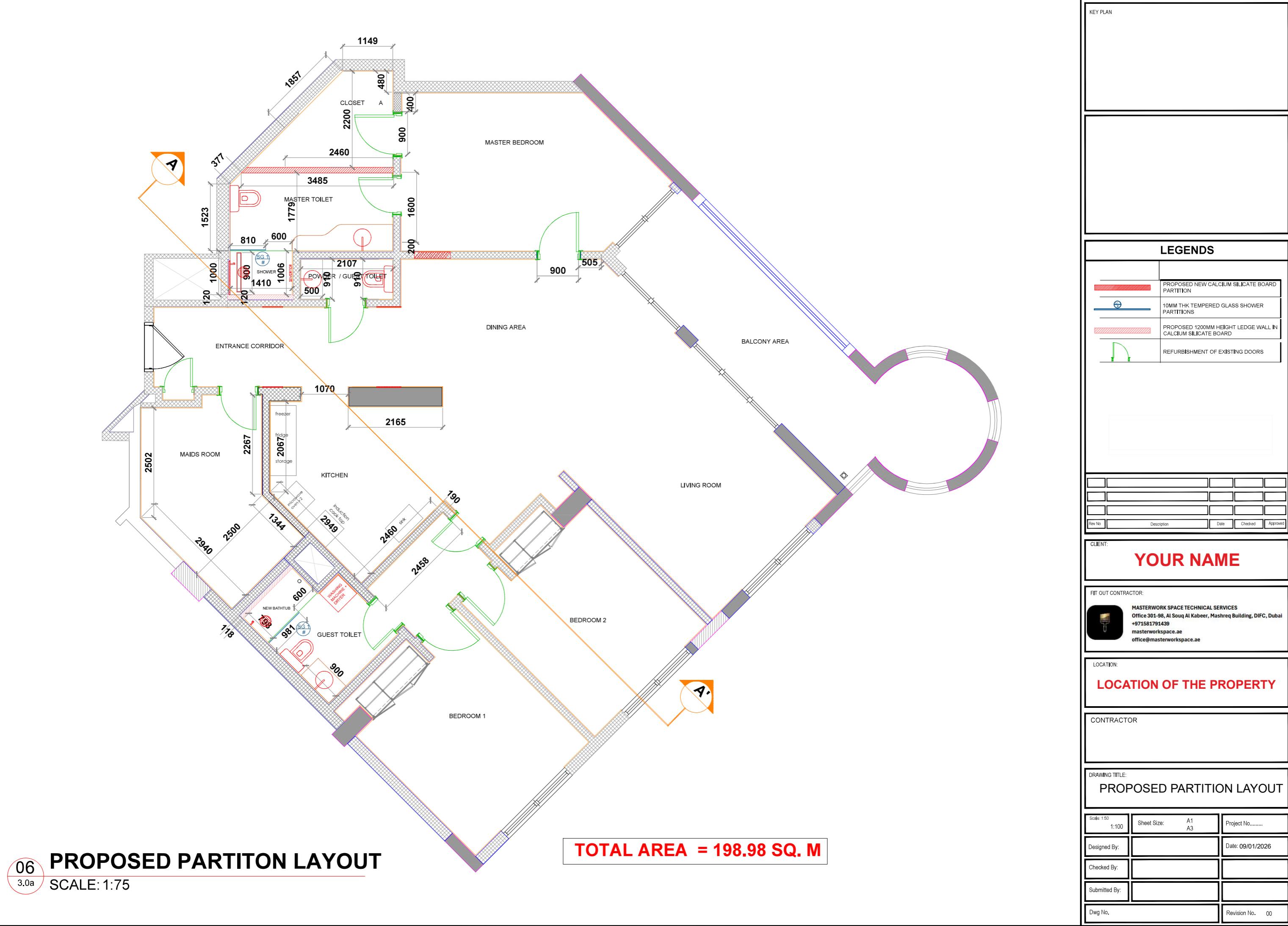
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SCALE : @ A3  
DWG. REF. NO. :  
DRAWING NO. :



## PARTITION LEGEND

SYMBOLS	DESCRIPTIONS
	PROPOSED NEW CALCIUM SILICATE BOARD PARTITION
	10MM THK TEMPERED GLASS SHOWER PARTITIONS
	PROPOSED 1200MM HEIGHT LEDGE WALL IN CALCIUM SILICATE BOARD
	REFURBISHMENT OF EXISTING DOORS

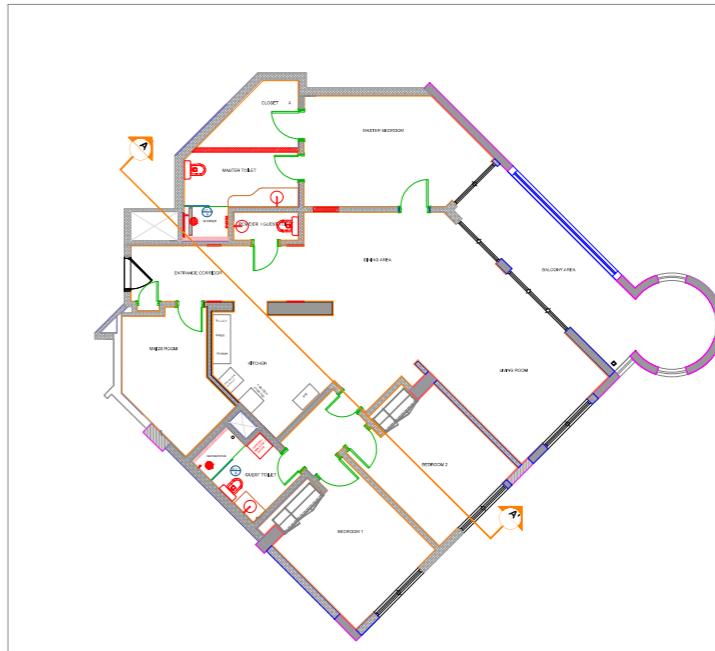
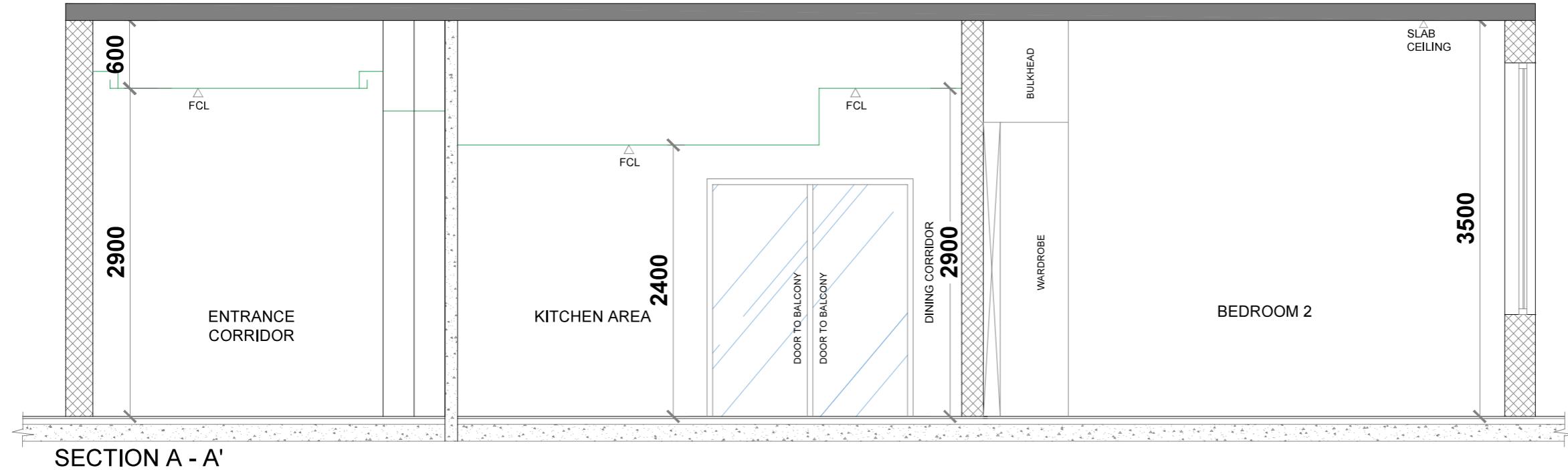




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## SECTION DRAWING

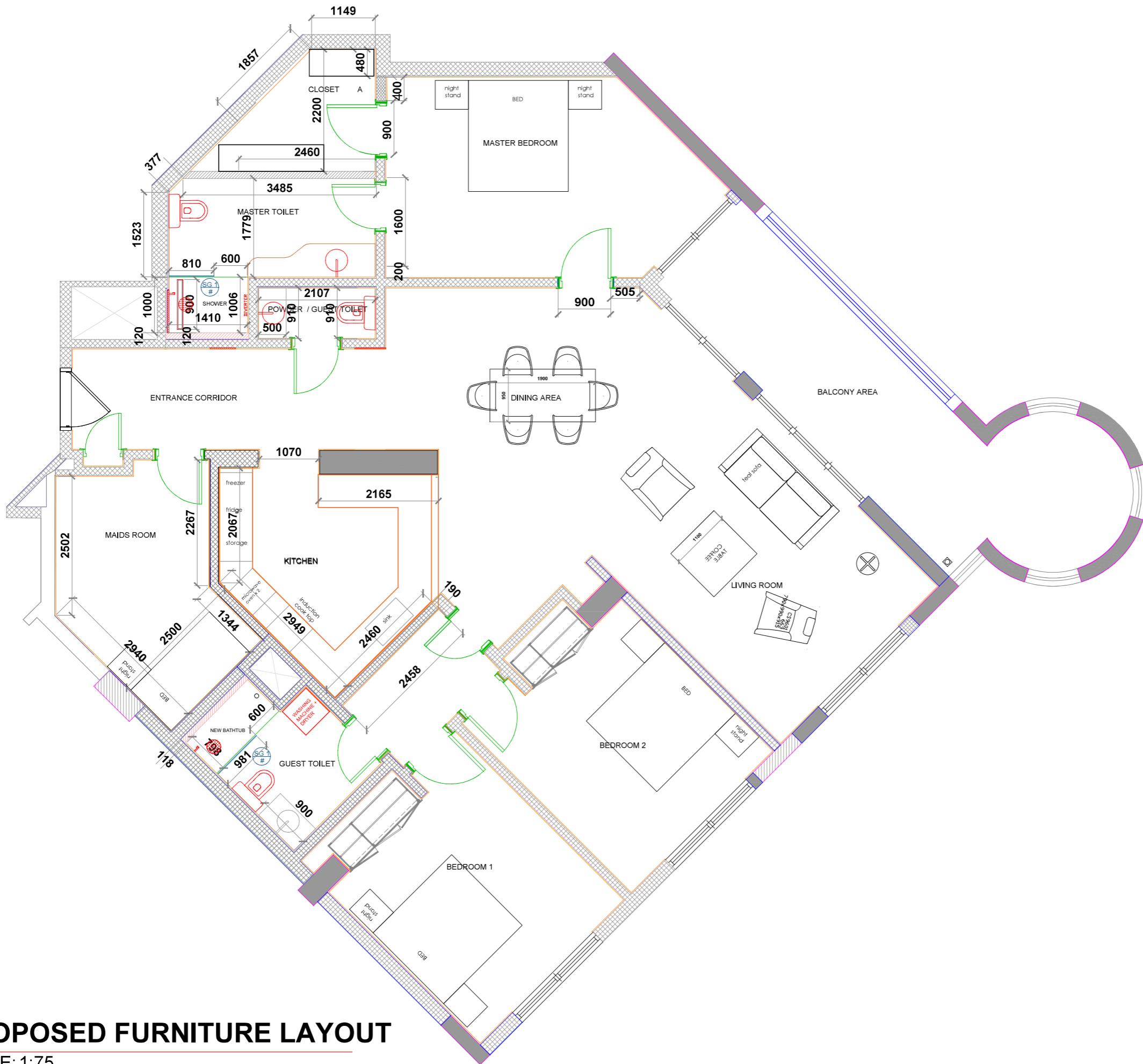
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KEY PLAN

TOTAL AREA = 198.98 SQ. M

KEY PLAN											
LEGENDS											
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FIT OUT CONTRACTOR:  <b>MASTERWORK SPACE TECHNICAL SERVICES</b> Office 301-98, Al Souq Al Kabeer, Mashreq Building, DIFC, Dubai +971581791439 masterworkspace.ae office@masterworkspace.ae											
LOCATION: <b>LOCATION OF THE PROPERTY</b>											
CONTRACTOR											
DRAWING TITLE: <b>SECTION DRAWING</b>											
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Designed By:		Date: 09/01/2026									
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Submitted By:											
Dwg No.	Revision No. 00										



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## PROPOSED FURNITURE LAYOUT

a SCALE: 1:75

**TOTAL AREA = 198.98 SQ. M**

## KEY PLAN

10 of 10

## LEGENDS

Rev No	Description	Date	Checked	Approved

CLIENT: **YOUR NAME**

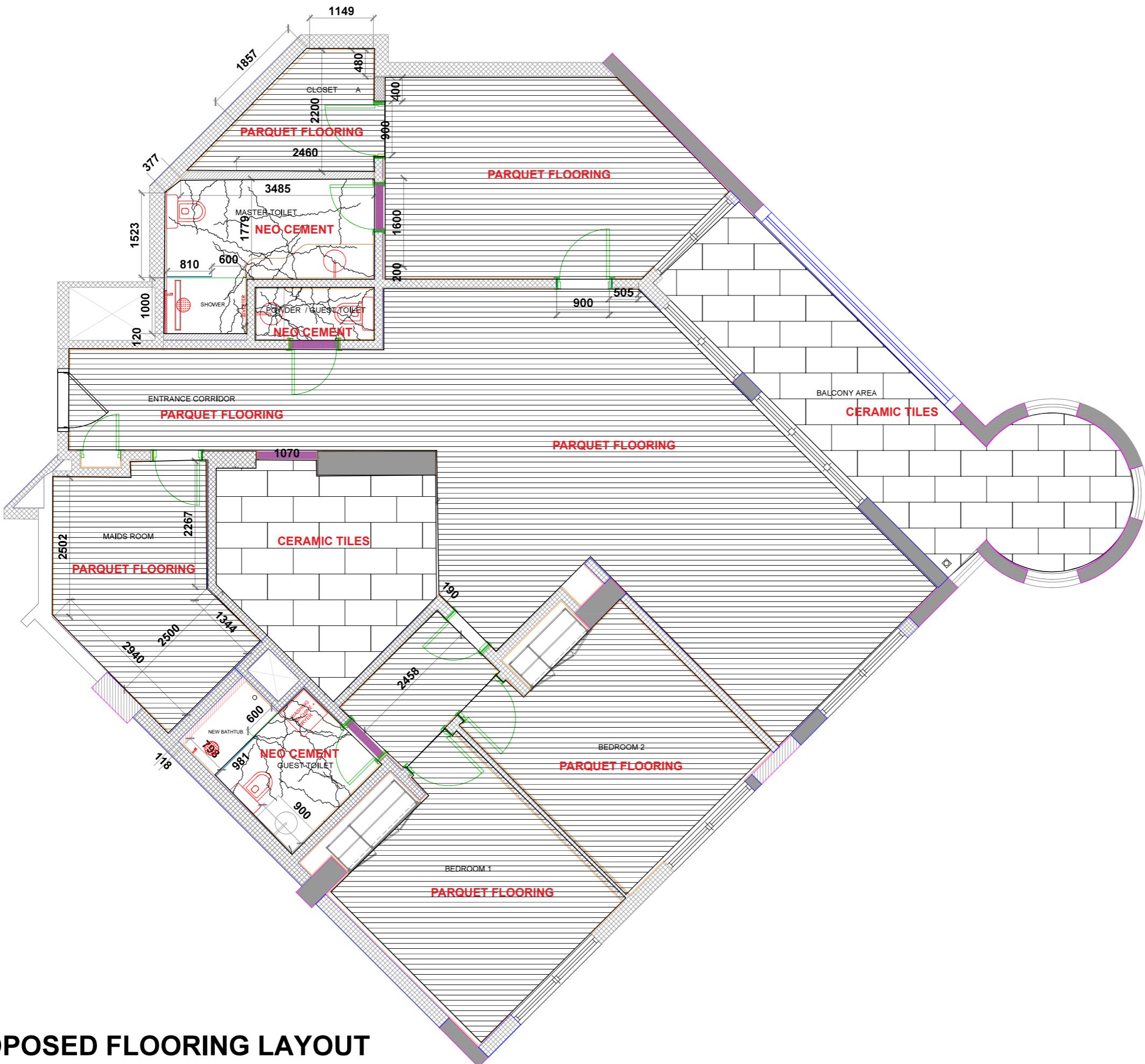
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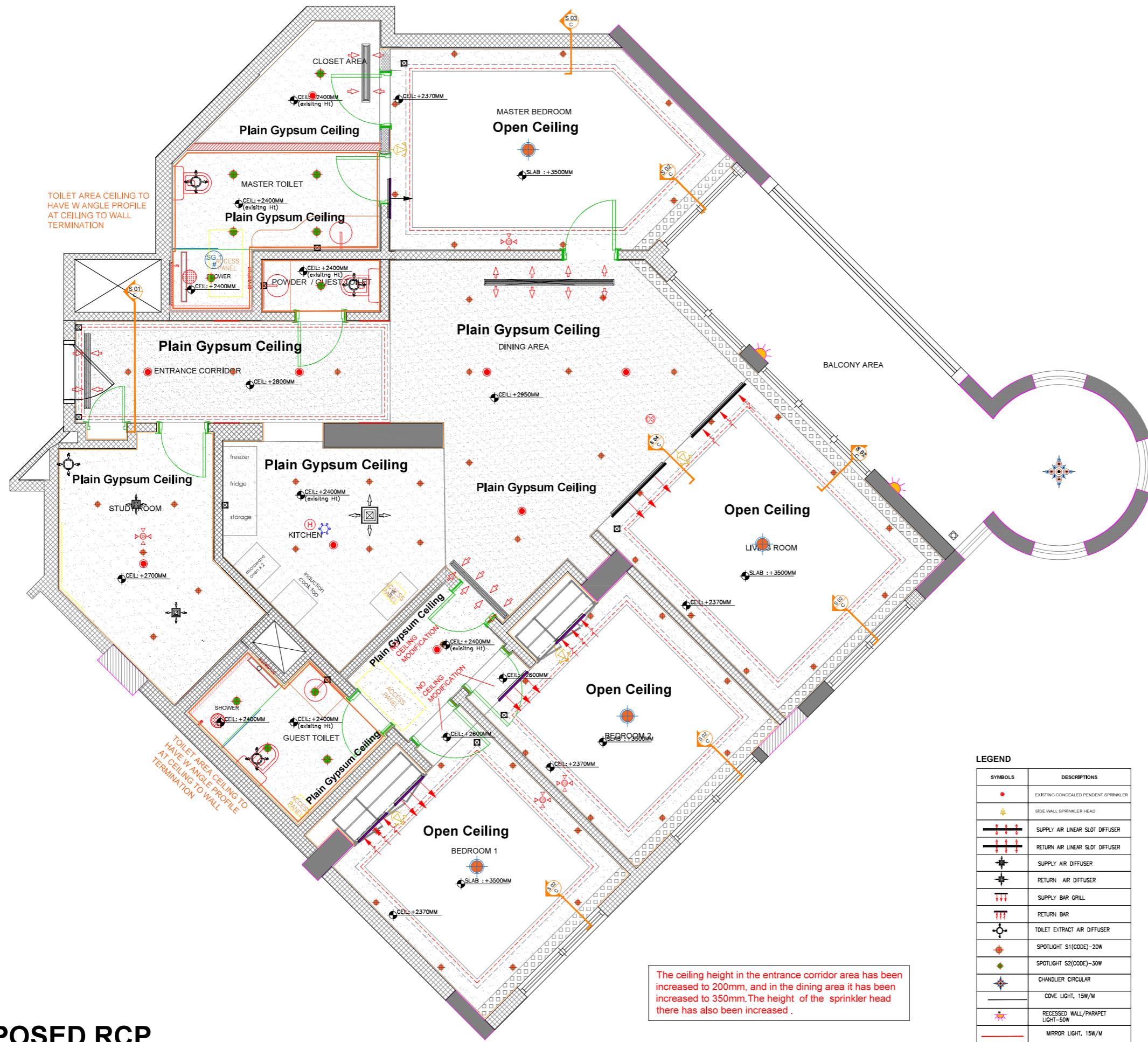
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KEY PLAN								
LEGENDS								
 EXISTING MARBLE THRESHOLD								
 CERAMIC TILES								
 NEO CEMENT FLOORING								
 PARQUET FLOORING								
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CLIENT: <b>YOUR NAME</b>								
FIT OUT CONTRACTOR:  <b>MASTERWORK SPACE TECHNICAL SERVICES</b> Office 301-98, Al Souq Al Kabeer, Mashreq Building, DIFC, Dubai +971581791439 masterworkspace.ae office@masterworkspace.ae								
LOCATION: <b>LOCATION OF THE PROPERTY</b>								
CONTRACTOR								
DRAWING TITLE: <b>PROPOSED FLOORING LAYOUT</b>								
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Submitted By:								
Dwg No.				Revision No. 00				





KEY PLAN								
<b>LEGENDS</b>								
<b>SYMBOLS</b>		<b>DESCRIPTIONS</b>						
	EXISTING PLAIN GYPSUM CEILING (REMAINS AS IS) TO BE PAINTED ONLY		NEW MR PLAIN GYPSUM CEILING INSIDE TOILETS LEVEL 2400MM AS EXISTING					
	GYPSUM COVE DETAIL WITH LED STRIP LIGHT BY ELECTRICAL (COVE SIZE 150 X 150 MM)		300MM WIDE AND 150MM HEIGHT PERIPHERAL BULKHEAD WITH 1 SIDE COVE DETAIL FOR LIGHTS - LED STRIP LIGHT BY ELECTRICAL					
	PROPOSED 200MM WIDE CURTAIN PELMET		W ANGLE CEILING TO TERMINATION PROFILE IN TOILET AREAS					
	NEW MR PLAIN GYPSUM CEILING INSIDE LEVEL 2900MM HT IN FOYER AND DINING AND 2700MM HT IN MAIDS ROOM							
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